



approach.

Ronayne + Runtz Residence

Studio Addition Plan Revisions

Viewing Deck Schematic Design Studies



Viewing Deck approach from west.



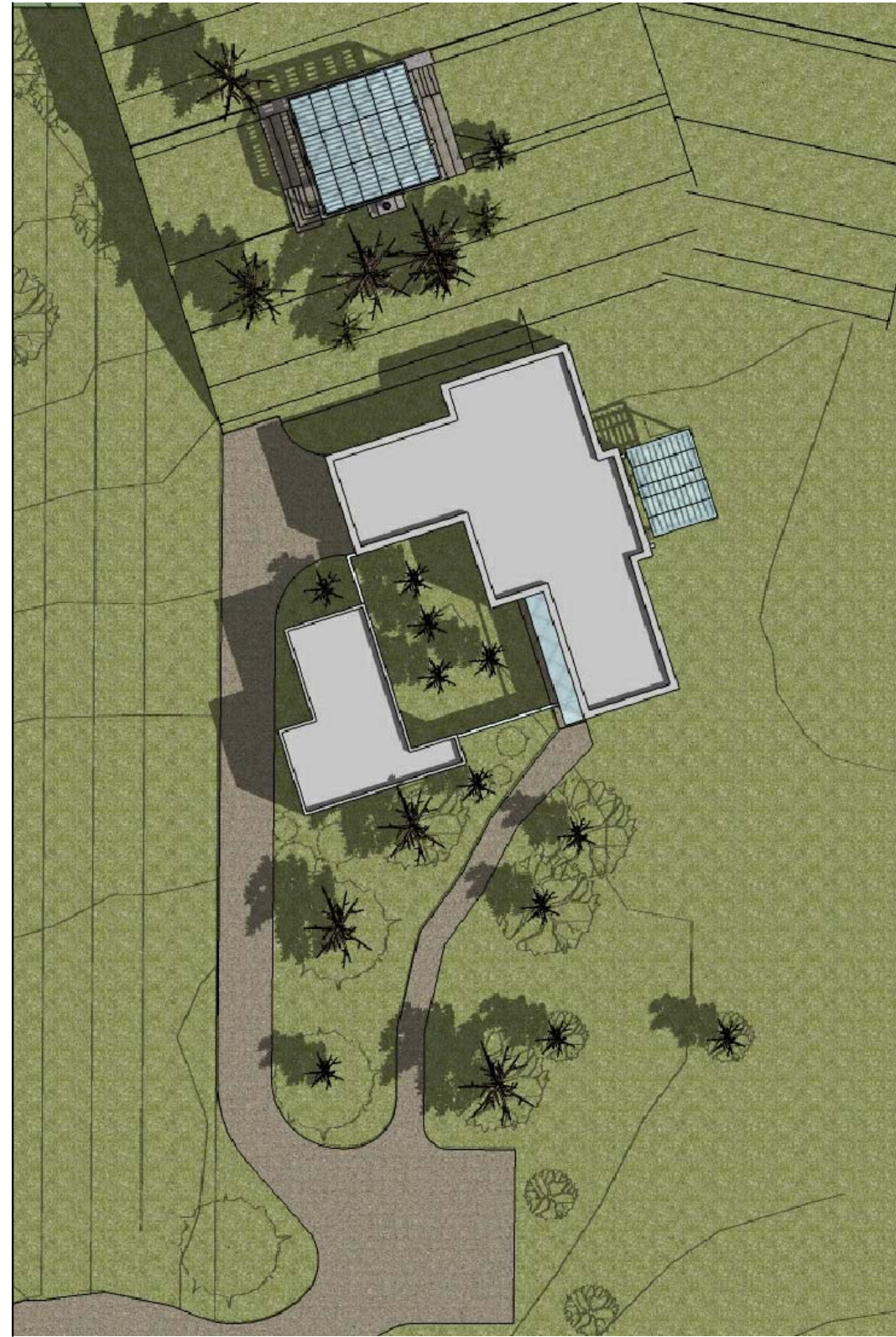
Viewing Deck view to fireplace.



Viewing Deck approach from east.



2 SITE PLAN SOLID SHADED VIEW: APRIL 11:00 AM
1/8" = 1'-0"



1 SITE PLAN TRANSLUCENT SHADED VIEW: APRIL 11:00 AM
1/8" = 1'-0"

SCHEMATIC DESIGN

REVISIONS

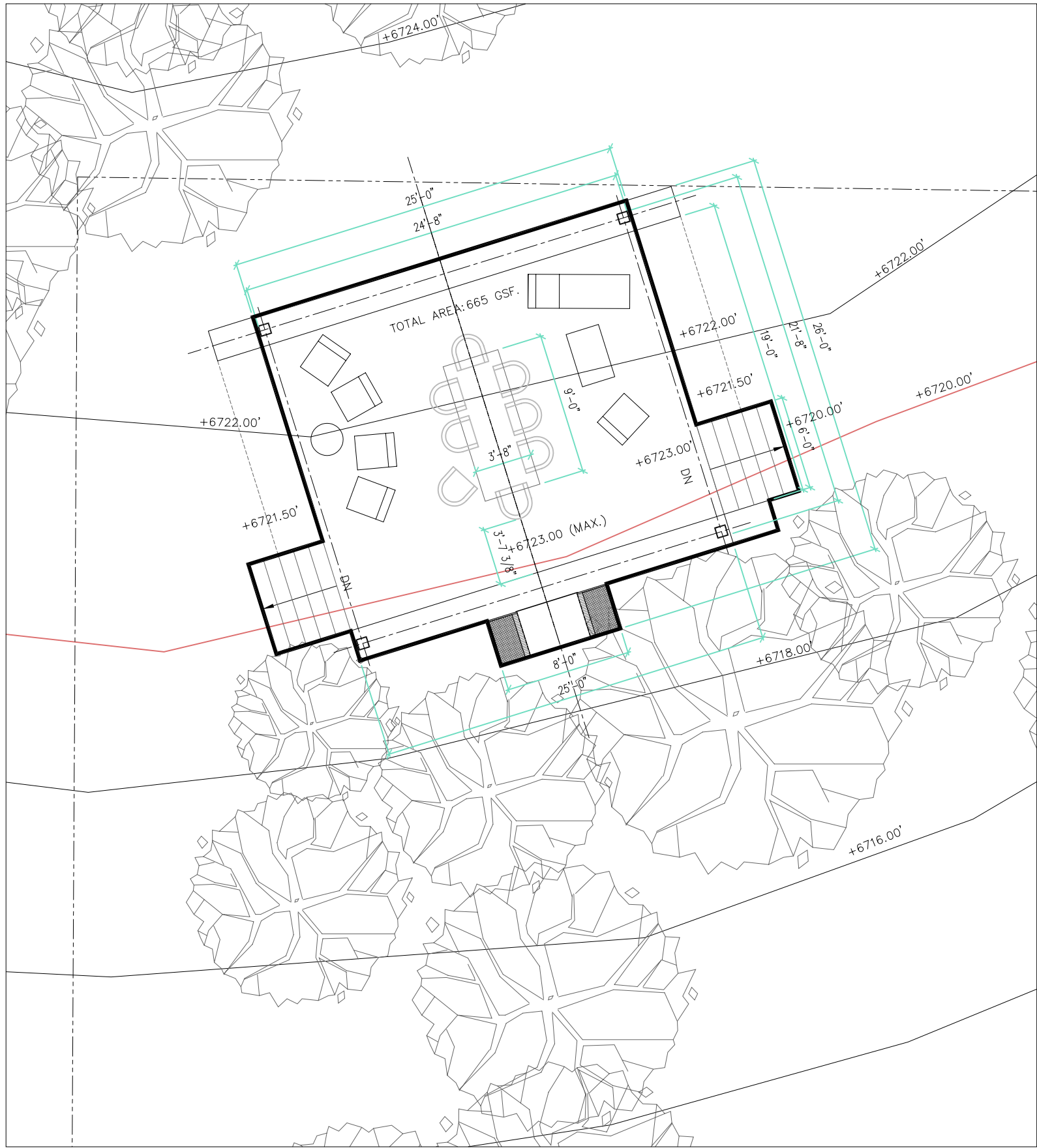
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Ronayne & Runitz Residence
4 ESCOPETA PLACE
SANTA FE, NEW MEXICO

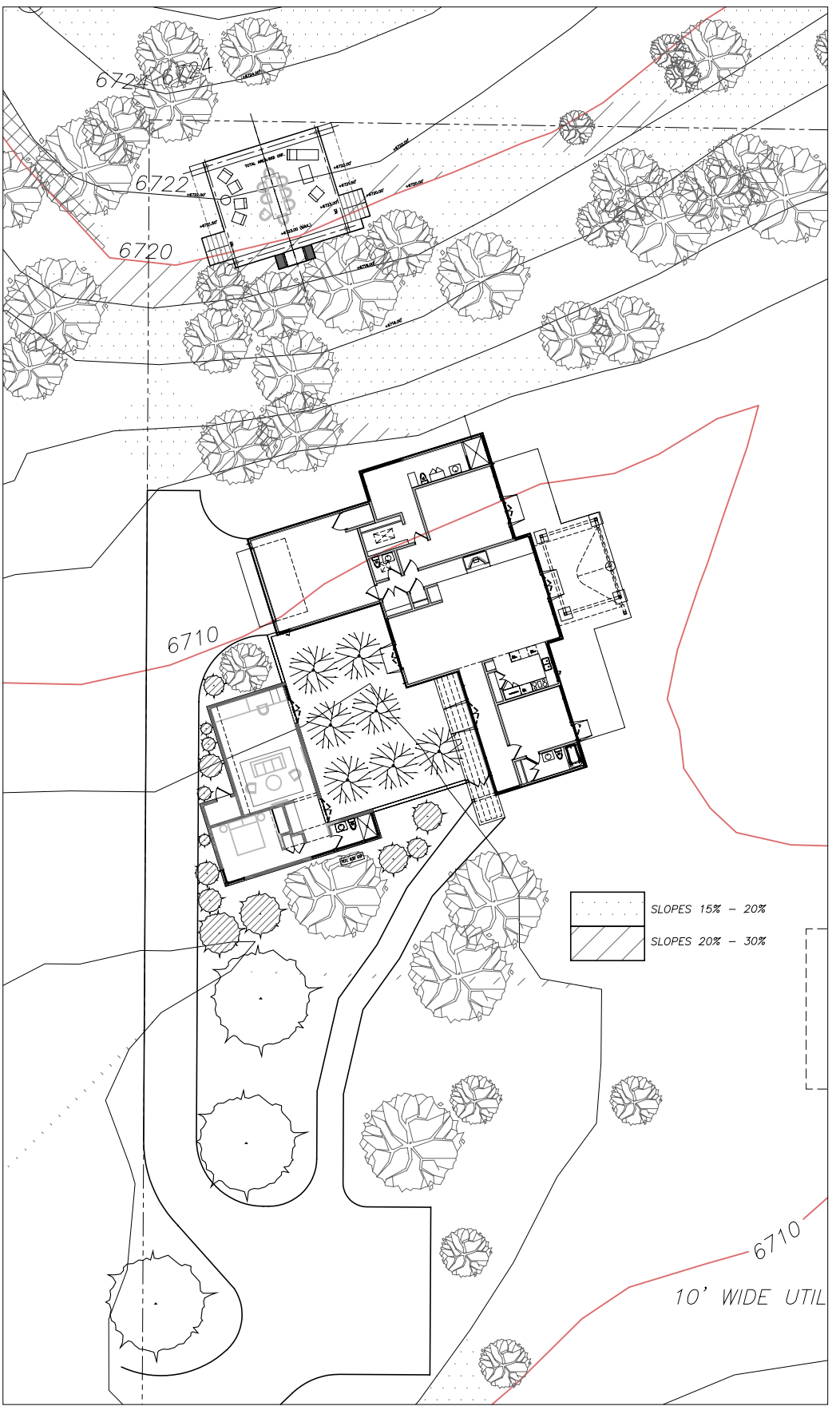
VIEWING DECK PLAN #9

CHECKED	STB
DATE	JUNE 27, 2011
SCALE	1/8" = 1'-0"
DRAWN	JW
JOB	2011-70
SHEET	

S100A



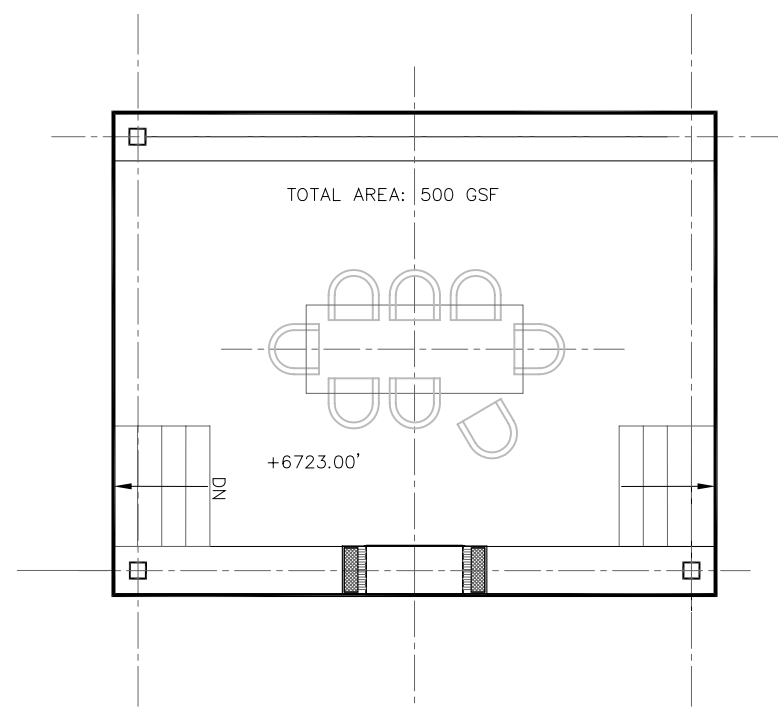
2 VIEWING DECK PLAN
1/8" = 1'-0"



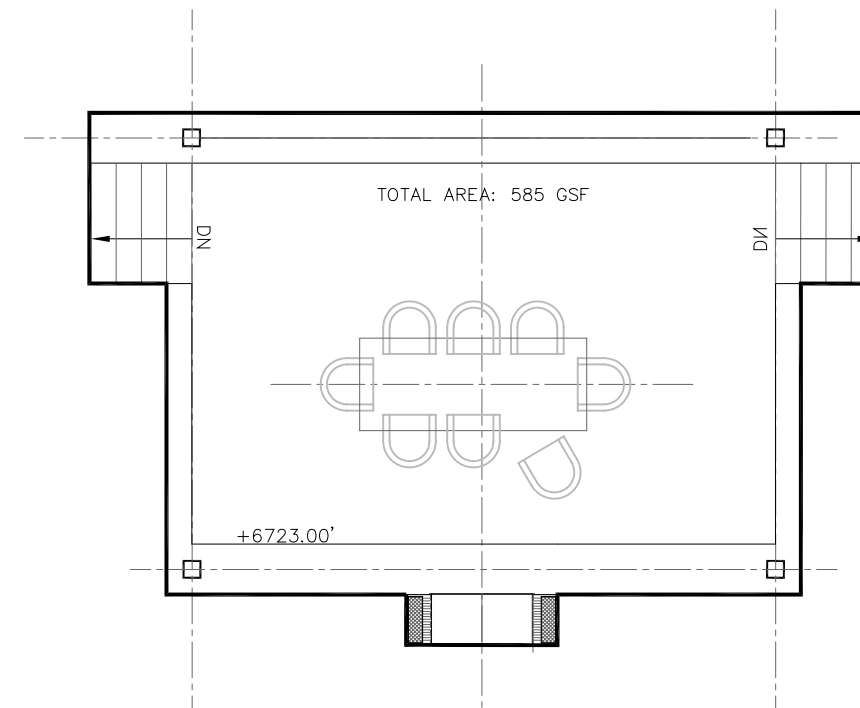
1 SITE PLAN
1/32" = 1'-0"

SCHEMATIC DESIGN

REVISIONS	
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●●●●●	
Ronayne & Runtz Residence 4 ESCOPETA PLACE SANTA FE, NEW MEXICO	
SITE PLAN W/ STUDIO PLAN #9 AND VIEWING DECK	
CHECKED STB	
DATE JUNE 27, 2011	
SCALE VARIES	
DRAWN JW	
JOB 2011-70	
SHEET S100	



2 VIEWING DECK PLAN #4: 500 GSF
 1/8" = 1'-0"



1 VIEWING DECK PLAN #3: 585 GSF
 1/8" = 1'-0"

SCHEMATIC DESIGN

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.....
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 SANTA FE, NEW MEXICO

ALTERNATE VIEWING DECK PLANS: 3 & 4

CHECKED
 STB
 DATE JUNE 27, 2011
 SCALE 1/8" = 1'-0"
 DRAWN JW
 JOB 2011-70
 SHEET

A101-ALTS



SCHEMATIC DESIGN

1 STUDIO PLAN #9
1/8" = 1'-0"

REVISIONS	

•••••
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Ronayne & Runtz Residence
 4 ESCOPETA PLACE
 SANTA FE, NEW MEXICO

STUDIO PLAN #9

CHECKED	STB
DATE	JUNE 27, 2011
SCALE	1/8" = 1'-0"
DRAWN	JW
JOB	2011-70
SHEET	

A100

REVISIONS

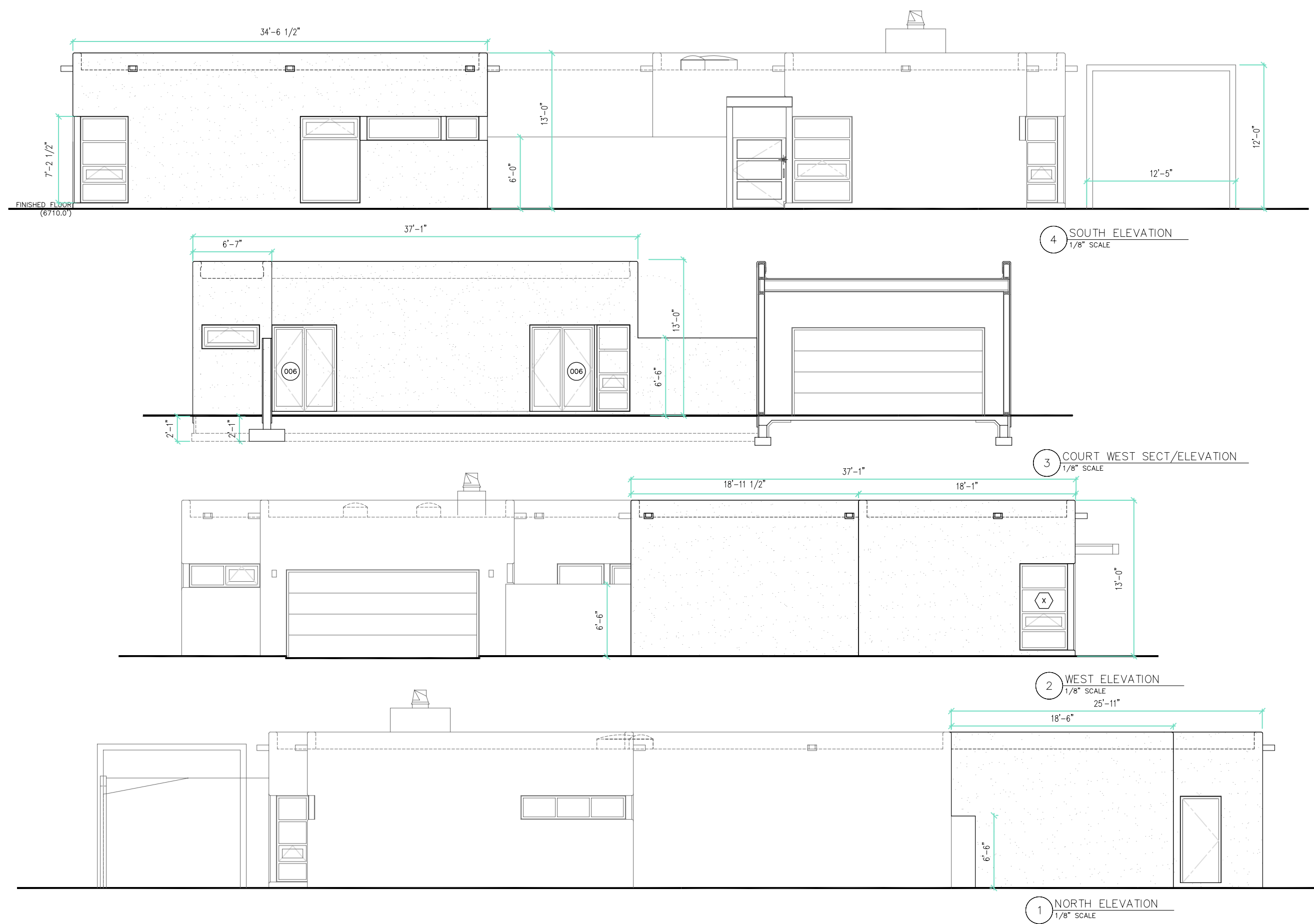
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 4 ESCOPETA PLACE
 SANTA FE, NEW MEXICO

STUDIO #9 ELEVATIONS

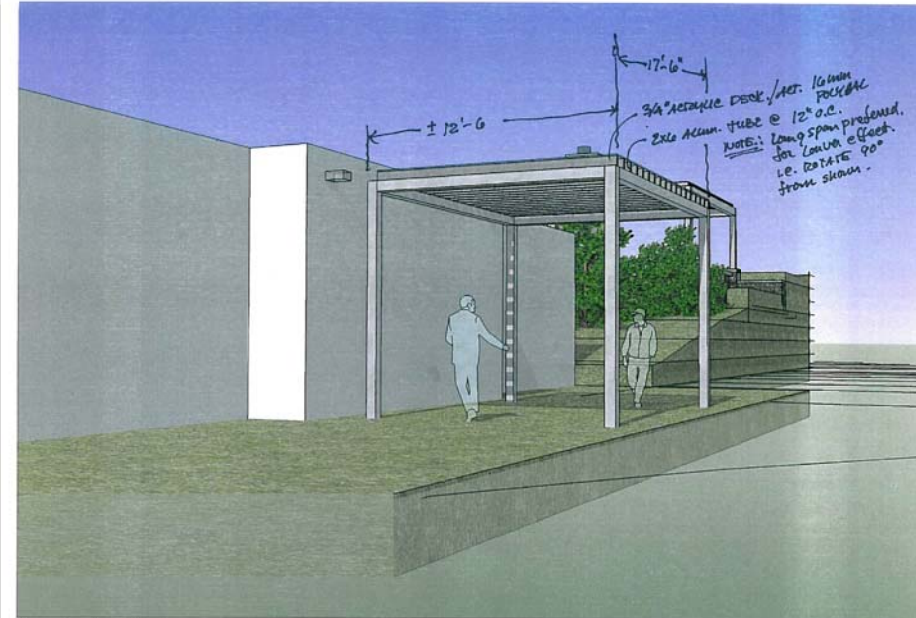
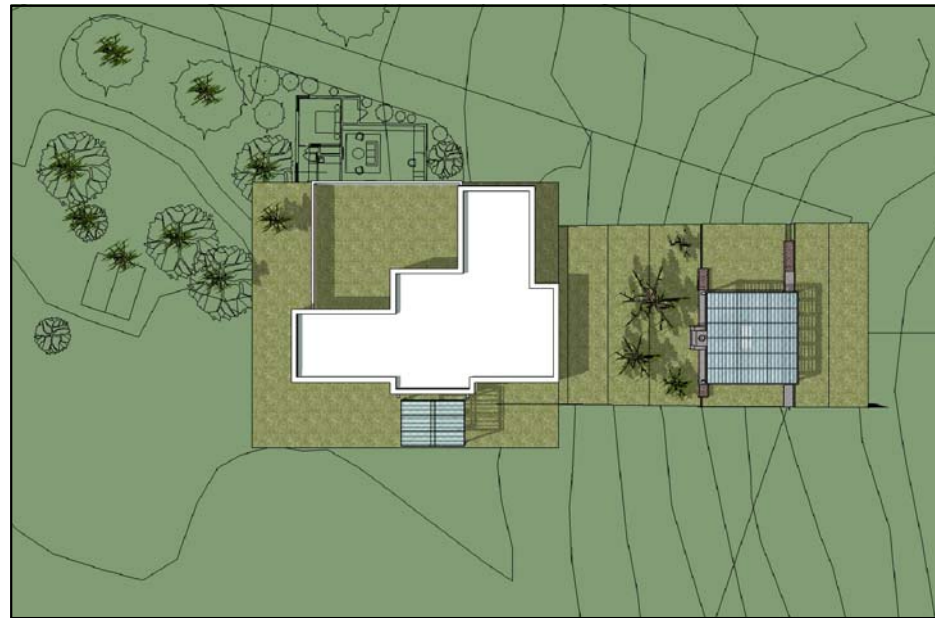
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SCALE	1/8" = 1'-0"
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JOB	2011-70
SHEET	

A200



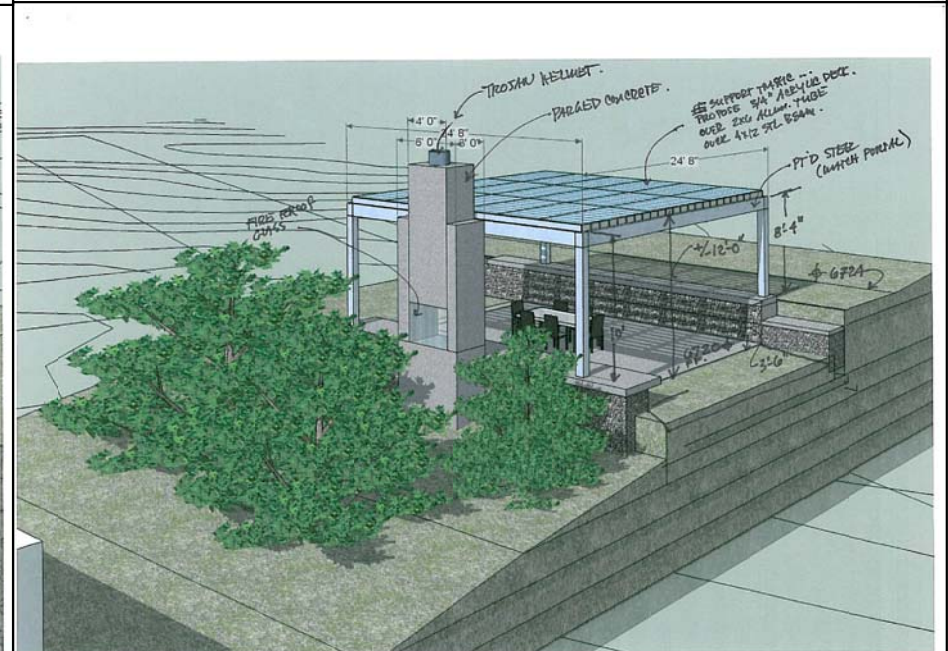
SCHEMATIC DESIGN

REVISIONS



SUBY Bowden + Assoc.
OG. 14.11 J. WIERCK. 505-988-5755 x108
Romayne + Runtz Des. - FF ± 6720'
+ ESCAPE PETA PLATE.
Roof Deck Addition to EXISTING FORMAL.
SK15

SUBY Bowden + Assoc.
OG. 14.11 J. WIERCK
Romayne + Runtz - VIEWING DECK - FF ± 6720'
FF 6720'
OG. 14.11 SUBY BOWDEN + ASSOC.
SK 11



SUBY BOWDEN + ASSOC.
OG. 14.11 J. WIERCK
Romayne + Runtz
Viewing Deck - FF ± 6720'
SK 14

SUBY BOWDEN + ASSOC.
OG. 14.11 J. WIERCK
Romayne + Runtz.
Viewing Deck - FF ± 6720'
SK 13

SUBY BOWDEN + ASSOC.
OG. 14.11 J. WIERCK
Romayne + Runtz.
VIEWING DECK - FF ± 6720'
SK 12

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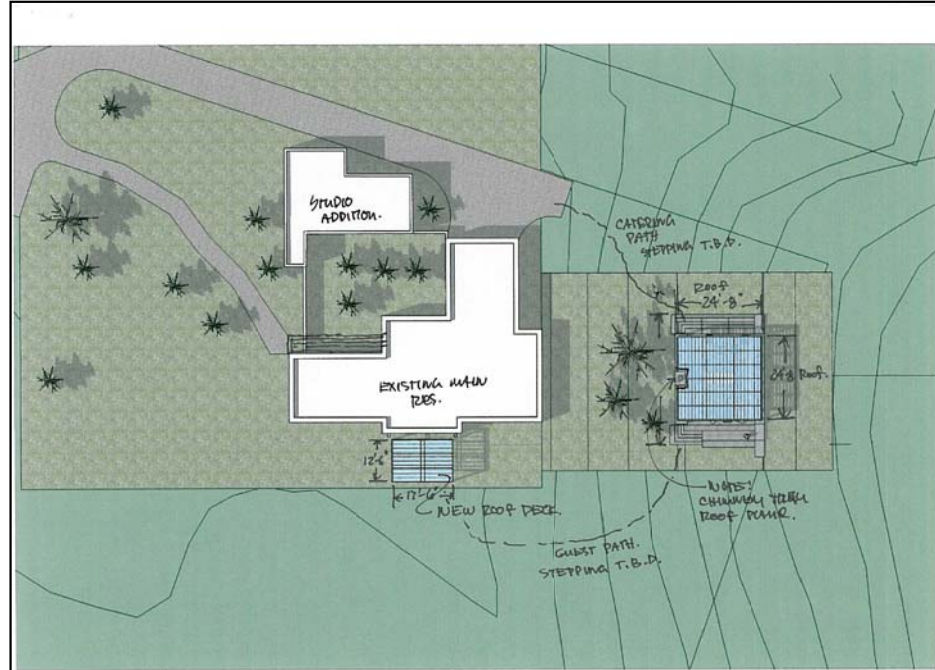
Romayne & Runtz Residence
4 ESCAPE PLACE
SANTA FE, NEW MEXICO

VIEWING DECK ESTIMATES
STUDY 01

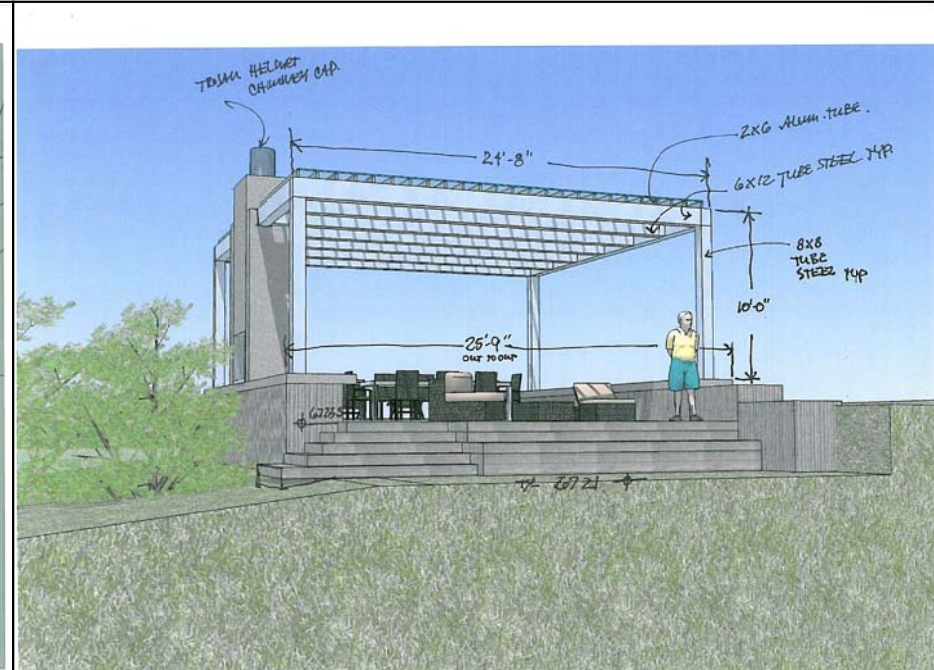
DESIGNED	STB
DATE	JUNE 27, 2011
SCALE	NTS
DRAWN	JW
JOB	2011-70
SHEET	ESTIMATE
	STUDY-01

1 PERSPECTIVES ESTIMATE STUDY 1 - GABION WALLS W/ CONCRETE PAVER DECK

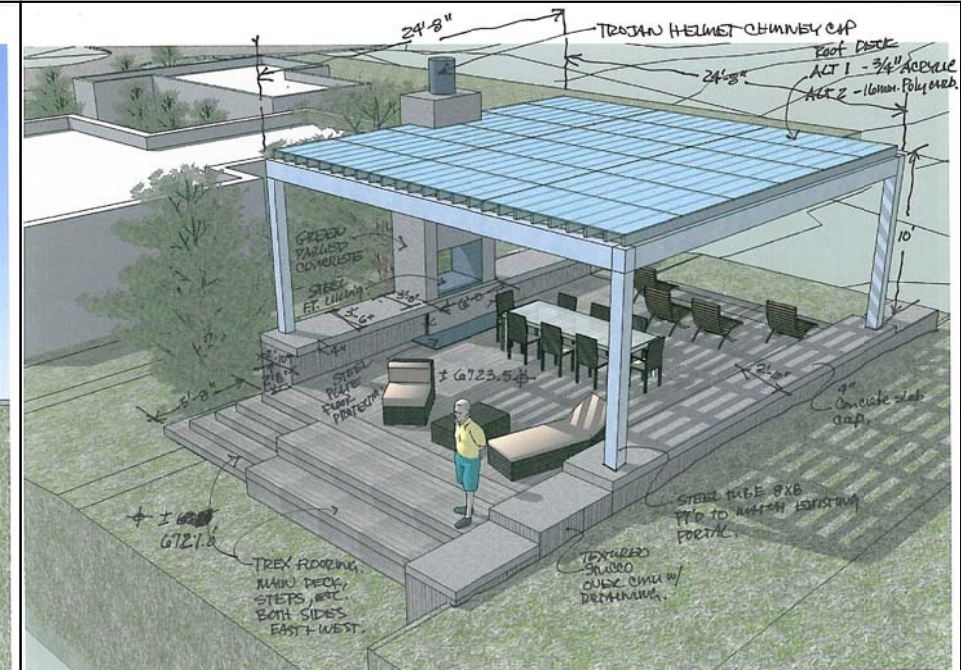
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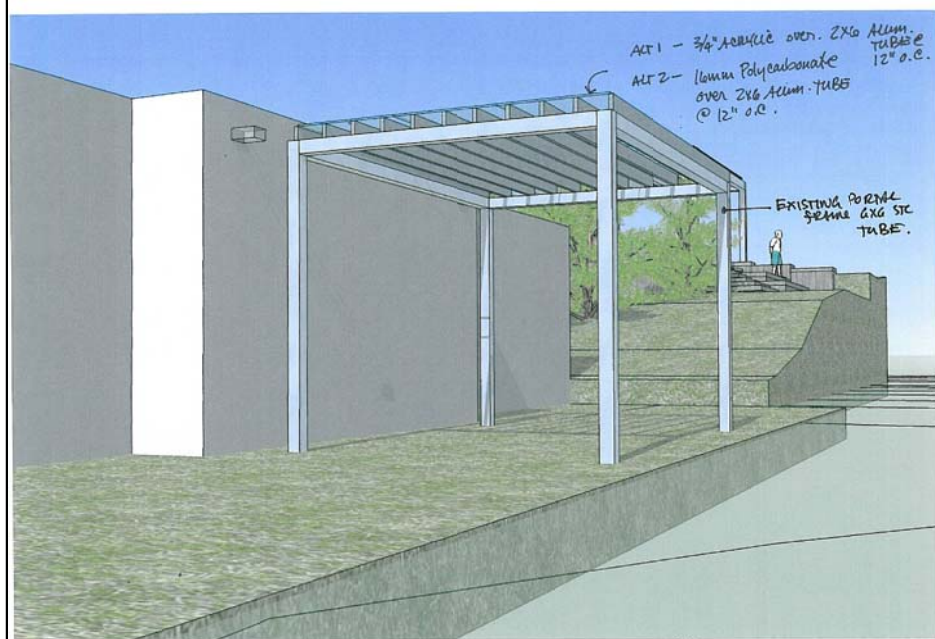
SUBBY BOWDEN + ASSOC. J. WIRZEL
 ROMANUE + RUNTZ VIEWING DECK V2 + STUDIO ADITION
 SITE PLAN - BLDG. UMSIWA SK-17
 06.16.11



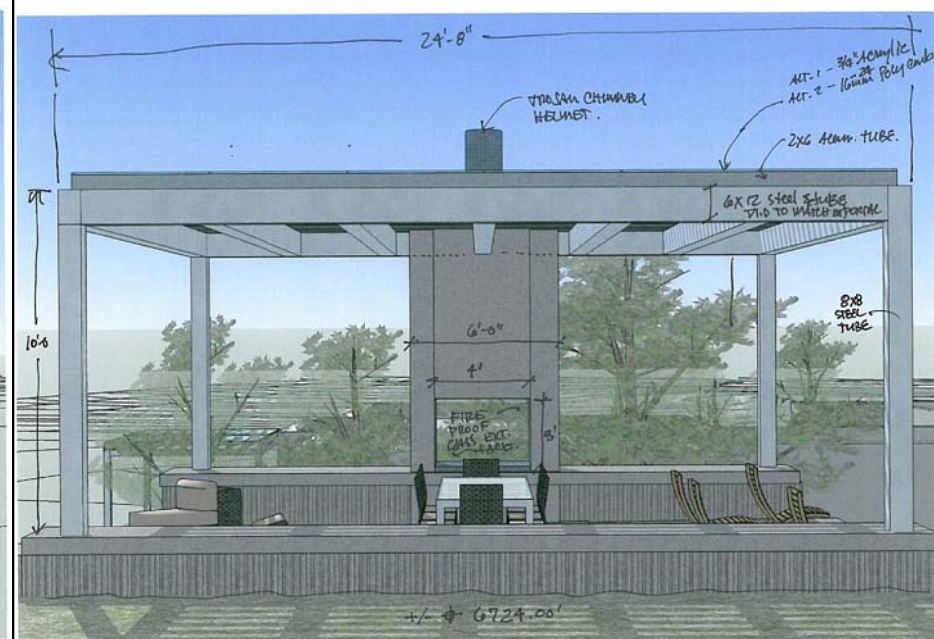
SUBBY BOWDEN + ASSOC. J. WIRZEL
 ROMANUE + RUNTZ VIEWING DECK V2.
 FF. 6723.5' SK-19
 06.16.11



SUBBY BOWDEN + ASSOC. J. WIRZEL
 ROMANUE + RUNTZ VIEWING DECK V2.
 FF. 6723.5' SK-20
 06.16.11



SUBBY BOWDEN + ASSOCIATES J. WIRZEL
 ROMANUE + RUNTZ VIEWING DECK V2.
 VIEW PERMANENT PORTAL ROOF DECK SK-18
 06.16.11



SUBBY BOWDEN + ASSOC. J. WIRZEL
 ROMANUE + RUNTZ VIEWING DECK V2.
 FF. 6723.5' SK-21
 06.16.11



SUBBY BOWDEN + ASSOCIATES J. WIRZEL
 ROMANUE + RUNTZ VIEWING DECK V2.
 FF. 6723.5' SK-22
 06.16.11

1 PERSPECTIVES ESTIMATE STUDY 2 - CMU W/STUCCO WALLS W/ TREX DECK

SCHEMATIC DESIGN

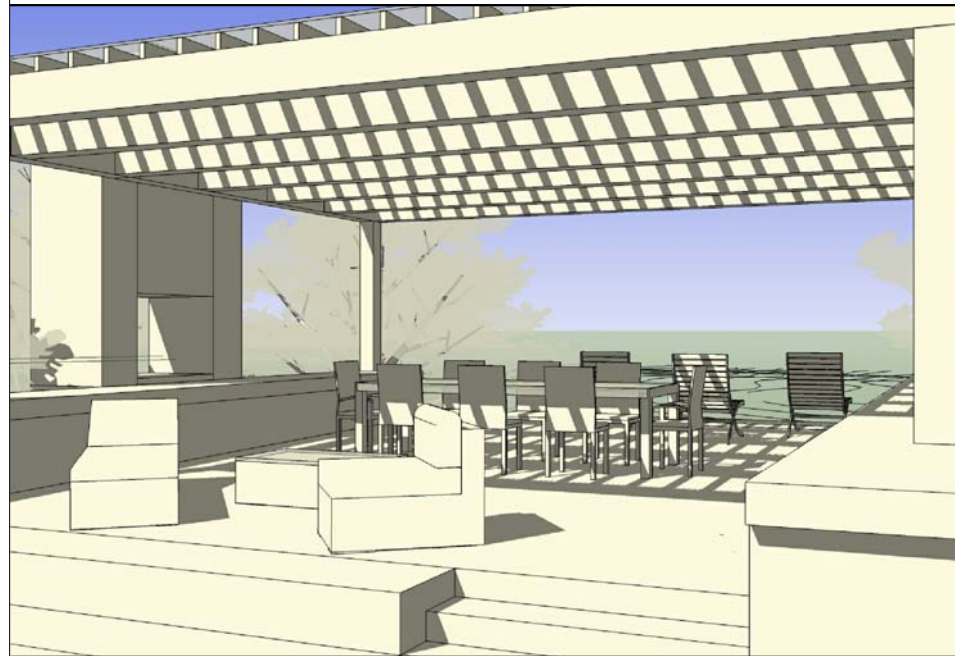
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Ronayne & Runtz Residence
 4 ESCOPETA PLACE
 SANTA FE, NEW MEXICO

VIEWING DECK ESTIMATES
 STUDY 02

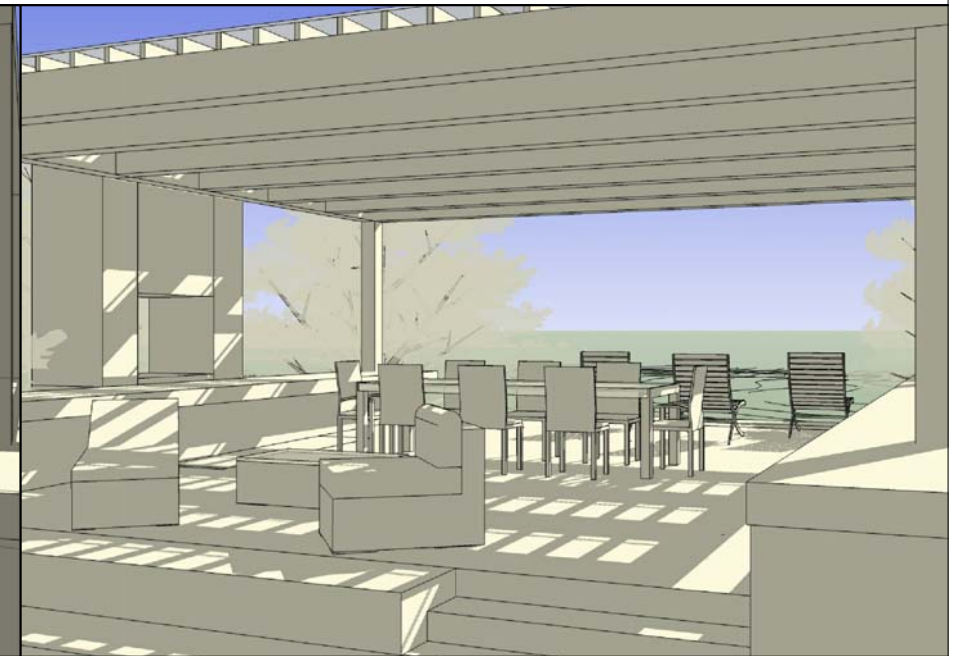
DESIGN	JW
DATE	JUNE 27, 2011
SCALE	
DRAWN	
JOB	2011-70
SHEET	ESTIMATE STUDY-02



6 TRANSPARENT ROOF CVR. SHADED VIEW: JUNE 21 9:00 AM



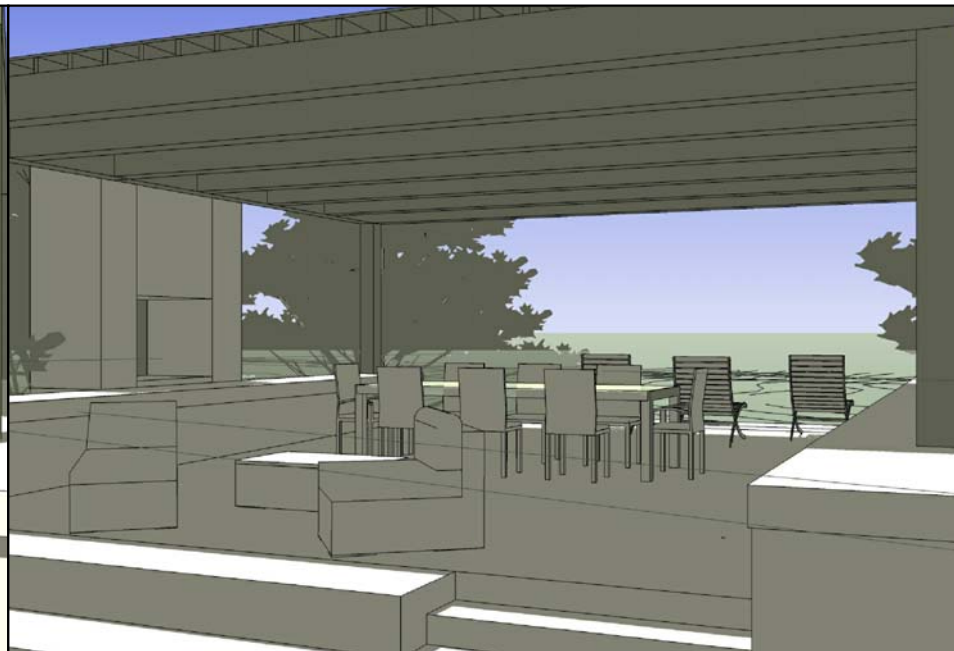
4 TRANSPARENT ROOF CVR. SHADED VIEW: JUNE 21 2:00 PM



2 TRANSPARENT ROOF CVR. SHADED VIEW: JUNE 21 6:00 PM



5 SOLID ROOF SHADED VIEW: JUNE 21 9:00 AM



3 SOLID ROOF SHADED VIEW: JUNE 21 2:00 PM



1 SOLID ROOF SHADED VIEW: JUNE 21 6:00 PM

LIGHT/SHADE STUDIES / TREX DECK
N.T.S.

SCHEMATIC DESIGN

REVISIONS

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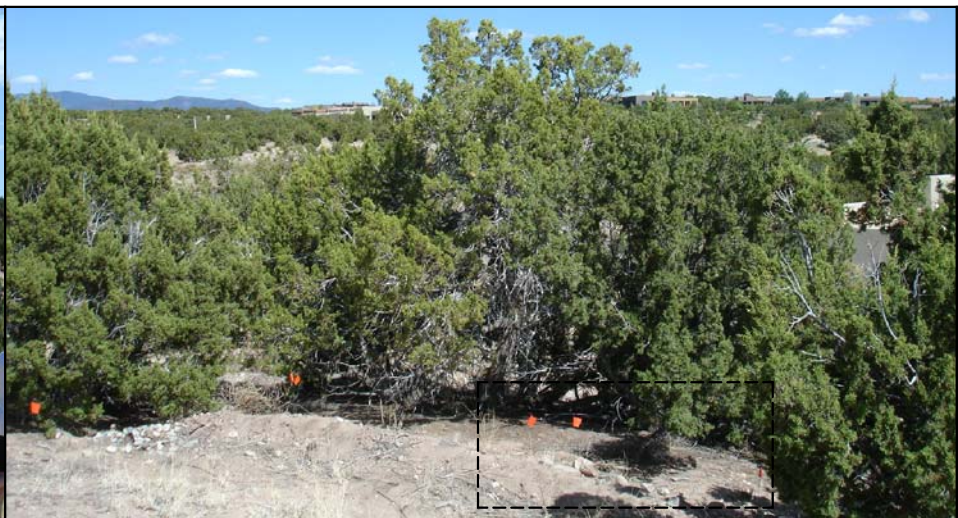
Ronayne & Runtz Residence
4 ESCOPETA PLACE
SANTA FE, NEW MEXICO

SHADE STUDIES

JUNE 27, 2011
CHECKED
SIB
DATE JW
SCALE
DRAWN
JOB
2011-70
SHEET
SHADE
STUDIES



6 NE CORNER LOOKING SOUTH



4 FIREPLACE



2 NE CORNER LOOKING EAST (DBL. FLAG)



5 SE CORNER LOOKING SOUTH



3 NW CORNER LOOKING SOUTHWEST



1 NW CORNER LOOKING WEST

VIEWING DECK LAYOUT

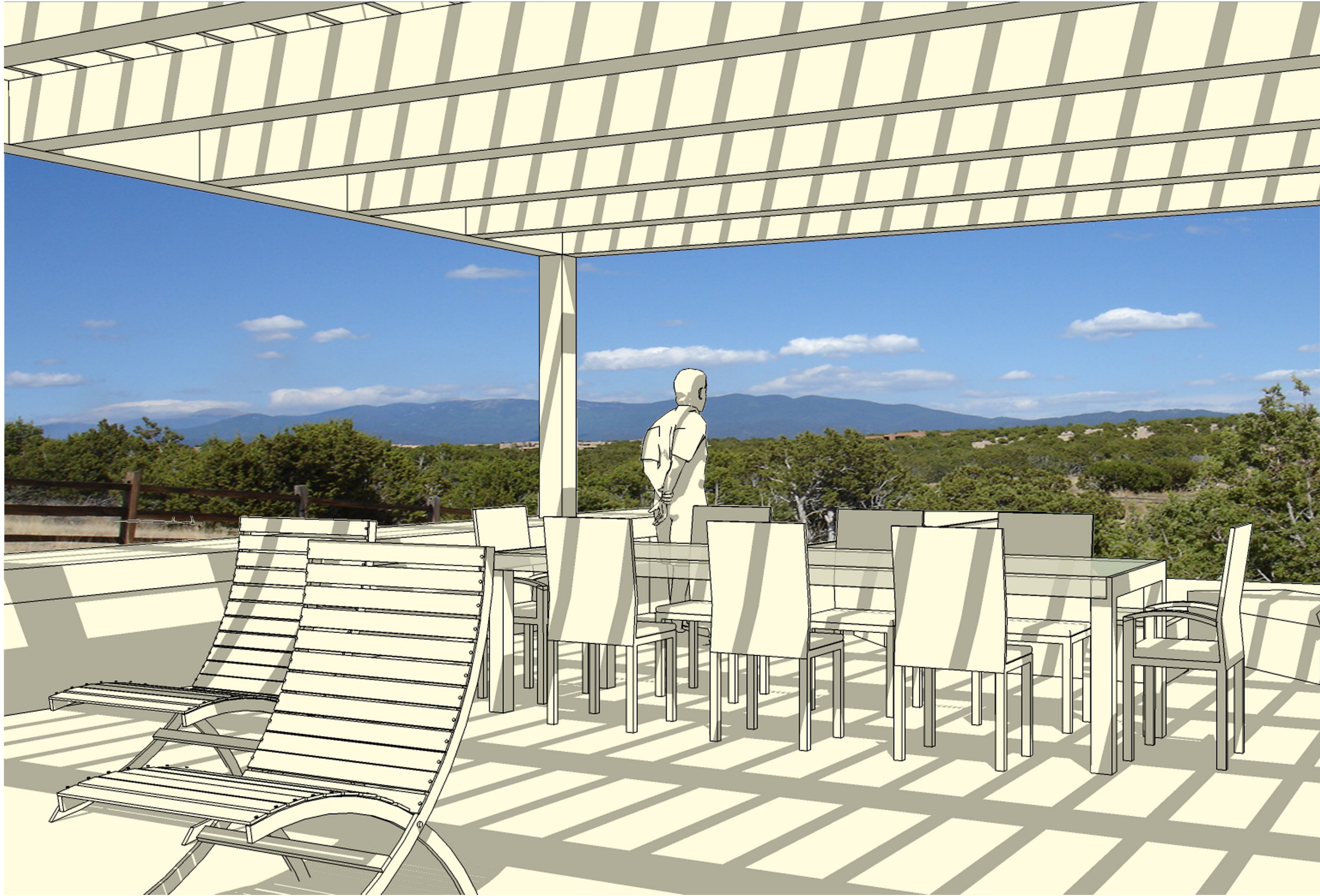
SCHEMATIC DESIGN

REVISIONS

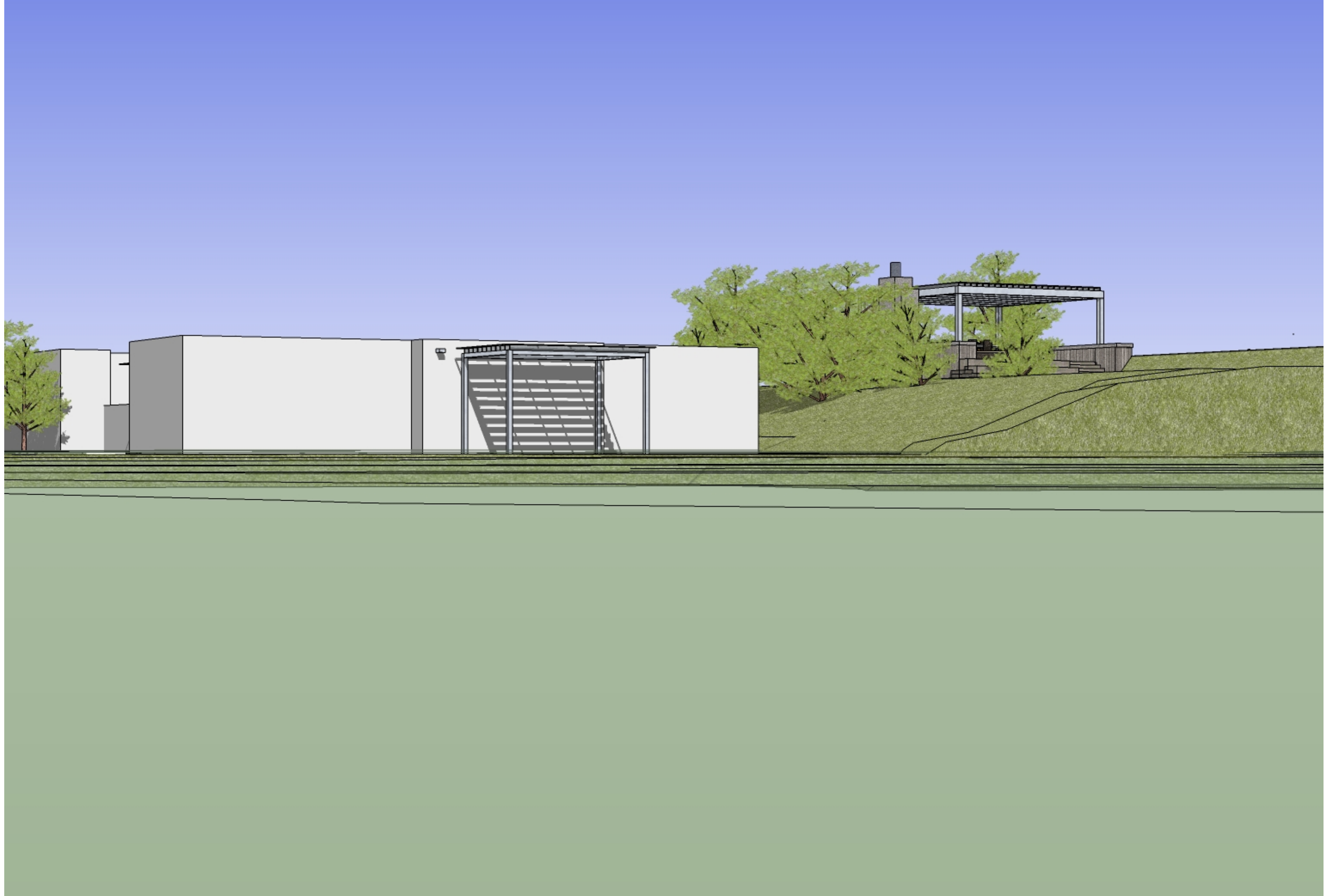
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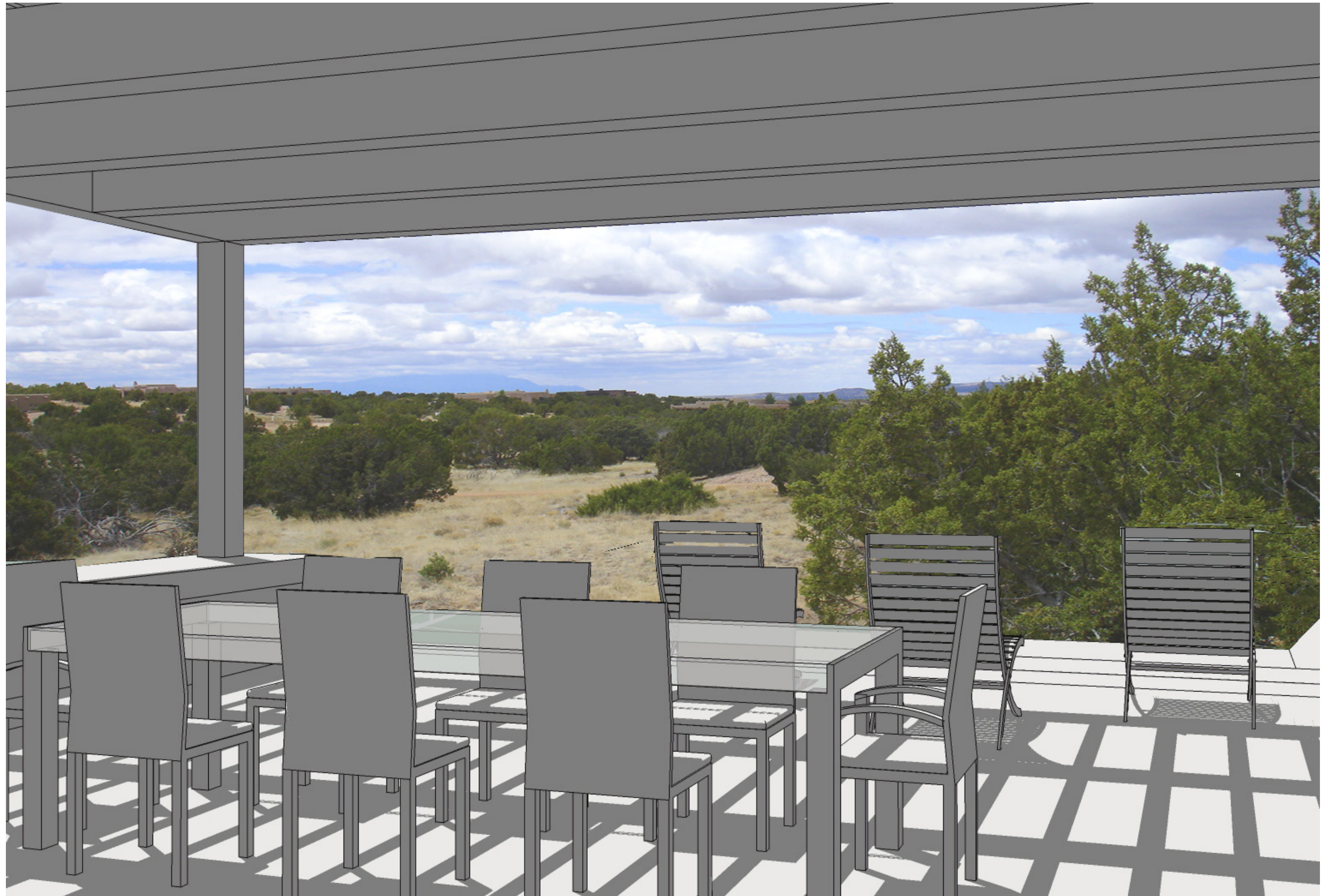
Ronayne & Runtz Residence
 4 ESCOPETA PLACE
 SANTA FE, NEW MEXICO

CHECKED
 STB
 DATE
 SCALE
 DRAWN
 JOB
 2011-70
 SHEET
 DECK
 LAYOUT



View toward east from deck.





VIEW TOWARD WEST FROM VIEWING DECK



June 27, 2011

Ronayne and Runtz Studio Addition

SCHEMATIC DESIGN OUTLINE OF SCHEDULE:

Start of Schematic Design: Fall of 2010

Schematic Design Options: May and June 2011

Design Development + Construction Documents: July and August 2011

Start of Bidding/Negotiation: end of August or beginning of September

Bidding/Negotiation and Permitting Phase: One- Month Duration in September

Start of Construction: Option One: end of September or beginning of October
Option Three: March 2012

Construction Phase: Four to Six- Month Duration

Move-in Date (earliest): Option One: April 2012.
Option Three: September 2012

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Suite 200
Santa Fe, NM
1.505.983.3755

SUBY BOWDEN + ASSOCIATES

6/7/2011

Ronayne & Runtz Residence Addition Construction Schedule Options															
Schedule Option #1															
2011								2012							
MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.
10 Month Total															
1 SCOA Completion of DD's + CDs															
2 Gerry & David visit Labor Day weekend															
3 Contract Negotiation for Bid + Permit															
4 Construction Start October 6 months total (w/ Jan. weather factored in)															
5 Gerry & David - Visits for Finishes phase															
6															
7															
8															
9															
10															
Schedule Option #2 (Least cost effective due to January temps. + precipitation - frozen ground.)															
2011								2012							
MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.
13 Month Total															
1 SCOA Completion of DD's + CDs															
2 Gerry & David visit Labor Day weekend															
3 Contract Negotiation for Bid + Permit															
4 3 Month Hiatus															
5 Construction Start January 6 months total (Jan. start least effective)															
6 Gerry & David - Visits for Finishes phase															
7															
8															
9															
10															
Schedule Option #3															
2011								2012							
MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.
15 Month Total															
1 SCOA Completion of DD's + CDs															
2 Gerry & David visit Labor Day weekend															
3 Contract Negotiation for Bid + Permit															
4 5 Month Hiatus															
5 Construction Start March 6 months															
6 Gerry Ronayne 4 month Sabbatical period. Gerry & David - Site Visits for Finishes phase.															
7															
8															
9															
10															

May 27, 2010 CONCEPTUAL PROJECT BUDGET for PLAN # 5 and # 6:

Construction Costs for the Existing House:

15.69 % inflation since Existing House Construction in 2007

On May 27th we believed the existing house was 1700 SF for \$523,322 for \$307 per SF +15.69% = \$355 per SF

(We later determined the size of the Existing House is actually 1986 SF for \$523,322 for \$263.51 per SF + 15.69% = \$304 per SF)

A: Schematic Design Cost Estimate for Guest Studio Addition:

Estimated cost of new construction = \$300 per SF(SBA) to \$438 per SF (JME)

Estimated area (heated) of new addition of Plan # 5 = 750 SF and Plan # 6 = 788 SF.

Estimated total construction cost = \$225,000.00 to \$345,144.00 (plus or minus 10% Contingency)

Specification Assumptions for Guest Studio of \$300 to \$438 per SF:

Slab on grade with perimeter concrete footings (with slab to be a higher quality of finish than existing)

Steel trellis between existing Entry and new Studio

2x8 Frame Construction with super insulated walls and roofs

Increase of window spans, with steel posts and beams required surrounding windows and doors

Gypsum Board Ceilings and Walls, Type V (with Interior walls added for Bedroom, Kitchenette and Mechanical)

Tubelite Window and Door Systems to match existing

Custom furnishings or cabinetry, to serve as desk and hold Artwork and Kitchenette (with stone counter)

Radiant Slab Heat mechanical system, and Swamp cooler or Heat pump HVAC system

Plumbing systems to match existing

Security systems, and lighting systems to match existing

(Not written but included on May 27) Septic addition from new guest house to existing tank with one additional leg at septic field

Conceptual Estimate of Budget for Fire-Place & Viewing Deck, (with full roof cover structure)

Estimated cost of new construction = \$30.00 to \$100.00 per SF.

Estimated area of new addition = 625 SF

Estimated construction cost = \$20,625.00 to \$62,500 plus 10% Contingency

Conceptual Estimate of Interiors Projects (Various –to be defined):

To be determined.

Conceptual Estimate of Landscaping Projects (Various –to be defined):

To be determined at time of design decisions, with written Bids.

June 27, 2011 SCHEMATIC DESIGN COST ESTIMATE for PLAN # 9 :

Construction Costs for the Existing House:

15.69 % inflation since Existing House Construction in 2007

Existing House is 1986 SF and was constructed for \$523,322 for \$263.51 per SF + 15.69% = \$304 per SF

A: Schematic Design Cost Estimate for Guest Studio Addition: based on Plan 8 +9 discussions in meetings May 27-30, 2011.

Estimated cost of new construction provided by JME Construction (including fees) = \$351 to \$360 per SF:

Estimated area (heated and unheated) of new addition of Plan # 9 = 830 SF.

Estimated total construction cost = \$291,330 to \$298,000 (plus or minus 10% Contingency)

Specification Assumptions for Guest Studio of \$350 to \$360 per SF:

Slab on grade with perimeter concrete footings (with slab to be a higher quality of finish than existing)

No new steel trellis

2x8 Frame Construction with super insulated walls and roofs

No increase of window spans

Gypsum Board Ceilings and Walls, Type V (with Interior walls added for Bedroom, Kitchenette, Mechanical and new closets)

Tubelite Window and Door Systems to match existing

Custom furnishings or Birch cabinetry to serve as Desk and Kitchenette, (with stone, wood, conc. or synthetic counter)

Radiant Slab Heat mechanical system, and Swamp cooler or Heat pump HVAC system

Plumbing systems to match existing

Security systems, and lighting systems to match existing (with utility supplies to be confirmed)

Septic addition from new guest house to existing tank with one additional leg at septic field

Plus the following specifications were added May 27-30 and are included in the \$350 to \$360 per SF cost:

Kitchenette slightly enlarged

Full height window at Guest Rm. Suite wall and 2 pairs of exterior double doors on the east wall of Studio

Glass pocket doors at vestibule to Guest Rm. Suite + 2 closet doors at linen-broom + 2 clothes closet doors + melamine shelving

Metal door at mechanical room

Demolition of existing CMU wall at Guest Studio Building

Note... Exterior Motorized Roller Shades at Guest Room SW corner will be itemized as a separate cost, pending receipt from JME

Note...not known if included in JME cost estimates... Gallery Skylight at the west wall of the Studio

June 27, 2011 SCHEMATIC DESIGN COST ESTIMATE for PLAN # 9: continued

B: Schematic Design Cost Estimate for Fire-Place and Viewing Deck, (with full roof cover structure)

Estimated cost of new construction provided by JME Construction (including fees) = \$100 to \$125 per SF

Estimated area of new Viewing Deck addition in Base Plan 9 = 665 SF

Estimated construction cost = \$66,500 to \$83,125 (plus or minus 10% Contingency)

Specification Assumptions for Fireplace and Viewing Deck of \$100 to \$125 per SF:

\$100 to \$125 per SF cost range includes Base Plan 9, as well as (4) Studies for Base Plan 9 (Studies 1,2,3,4)

(4) Studies include alternate sizes of footprint (for more or less furniture) and (alternate locations for steps)

and include alternate floor finishes (from dex-trex to concrete pavers, or concrete slab)

and include alternate wall and bench finishes (from gabions to CMU covered with stucco)

and alternate roof finishes (from transparent polycarbonate to solid, with sloped surface)

Electric service (for lighting and outlets) and water line (for a sink or yard hydrant) are within this budget

Construction costs assume the viewing deck has no "accessible" roof deck, no roof railing, and no roof access ladder .

(Studies were developed , however we came to the conclusion the combination of the height of the hill and the height of the final viewing deck structure would be overpowering over the existing residence and new guest-studio addition. In addition the covenants do not allow a legal floor structure greater than 3 feet above the existing grade...and a deck with ladder and railing would be considered a legal floor structure by the Neighborhood Association).

C: Schematic Design Cost Estimate of Permanent Roof Addition to the Existing Living Room Trellis:

Estimated cost of new construction provided by SBA and JME Construction (including fees) = \$20 to \$40 per SF

Estimated Area of Existing Living Room Trellis Addition (polycarbonate) = 220 SF

Estimated construction cost = \$4,400 to \$8800 (plus or minus 10% Contingency)

D: Refinishing Existing Concrete Slab Floor Finishes at Existing House:

Estimated cost of refinishing floors provided by JME Construction (including fees) :

Full grind and polish for \$11,479

Light grind and polish for \$9,065

Both the above will need the scored joints to be filled (\$750 included)

Clean wax and polish for \$2,160

Estimated construction cost = \$2,160 to \$11,479 (plus or minus 10% Contingency)

E: Door Openers at Exterior Dining Room Doors of the Existing House:

Estimated construction cost: Dorma door bolt lock closers with hold openers for \$520 each= \$1040 (verify if includes JME fees).

F: Roof Mechanical Screening at Existing House:

Estimated construction cost of stuccoed roof mechanical screening: \$2400 each x 2 = \$4800 (verify if includes JME fees).

G: New Exterior Shades at Existing House East Elevation:

Note... Exterior Motorized Roller Shades at existing House East Elevation to be itemized as a separate cost, pending receipt JME

H: New Landscaping Projects at Existing House (as shown on sheet S-100, plan 1):

Additional planting and trees near the new path surrounding the new Viewing Deck.

Additional tree and/or relocation of existing tree near the existing Living Room Portal.

Additional planting and trees along the driveway around the west wall of the new Guest-Studio.

Estimated Construction Cost of New Plantings and Trees = \$7897 + JME fees

I: Total of Above Items A-G for Plan #9 June 27, 2011:

(A: New Guest-Studio \$291,330 to \$298,000) + (B: Viewing Deck: \$66,500 to \$83,125) + (C: Ex Portal: \$4,400 to \$8800) +

(D: Ex. Conc. slabs: \$2,160 to \$11,479) + (E: Door openers: \$1040) + (F: Mech. Screening: \$4800) +

(G: Landscaping: \$7897 + fees)

= Construction Cost Range of Total of A-I = \$378,127 to \$415,141 (plus or minus 10% contingency)

J: Items not yet included in Cost Estimates above, pending allowances or prices from JME:

Exterior Window Shades at Guest-Studio and Existing House; Paths and steps to Viewing Deck from Ex. House and driveway;

Tree removal at Viewing Deck based on final siting, Existing tree locations survey, Engineering for above structures,

Plus Architectural fees not to exceed 20% of construction cost for items above.